



THANE MUNICIPAL CORPORATION, THANE

(Registration No. 3 & 24)
SANCTION OF DEVELOPMENT

PERMISSION / COMMENCEMENT CERTIFICATE

Permission granted to 23,556.62 sq.m built up area consisting of

- TMC Building complete - Ground floor part commercial & Part Civil + 1st floor to 25th floor complete residential.
- Tenderer's Building - Wing "A" Ground Floor SGA + 1st to 25th floor complete and Wing "B" - Ground Floor SGA + 1st to 27th floor complete + 28th floor (Part)

C.C. GRANTED FOR:-

- For TMC Building complete consisting of 15,667.94 sq.m. of constructed area having ground floor part civil Part commercial + 1st to 25th floors complete residential.
- For Tenderer's Building complete consisting of 4,332.69 sq.m. of constructed area having ground floor civil + 1st to 5th floor only.

V. P. No. S04/0068/14 TMC/ADD/14320/15 Date: 1/11/2015
 To, Shri / Smt. A.G. Jafar (Architect)
M/S Design Consortium
Shri Thane Municipal Corporation Thane (Owners)

With reference to your application No. 9389 dated 17/12/2014 for development permission / grant of Commencement certificate under section 45 & 69 of the the Maharashtra Regional and Town Planning Act, 1966 to carry out development work and/or to erect building No. 54-55 & 56 in village Maitbrade Sector No. IV Situated at Road/Street 24.0m Wide Road S. No. / C.S.T. No. / F.P. No. 83 (P), 186 (P), 364 (P)

The development permission / the commencement certificate is granted subject to the following conditions.

- 1) The land vacated in consequence of the enforcement of the set back line shall form Part of the public street.
- 2) No new building or part thereof shall be occupied or allowed to be occupied or permitted to be used by any person until occupancy permission has been granted.
- 3) The development permission / Commencement Certificate shall remain valid for a period of one year Commencing from the date of its issue.
- 4) This permission does not entitle you to develop the land which does not vest in you.
- 5) Conditions mentioned in NOC of K.H. & A.D.B. shall be binding upon applicant vide letter no. CO/KB/Arch/NOC/2533/2011 dated 15/12/2011.
- 6) All the conditions mentioned in the layout approval dtd 30.10.2009 are binding upon the applicant.
- 7) Thane Municipal Corporation will not supply water for construction.
- 8) As per CFO NOC, no compound wall shall be constructed on plot boundary.
- 9) Under taking for stair case premium shall be submitted before Issuing of Final Sets.
- 10) Final NOC from Tree Department shall be submitted before O.C.
- 11) Information board should be displayed on site from C.N. till obtaining O.C.

WARNING : PLEASE NOTE THAT THE DEVELOPMENT IN CONTRAVENTION OF THE APPROVED PLANS AMOUNTS TO COGNASIBLE OFFENCE PUNISHABLE UNDER THE MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966

Office No. _____
 Office Stamp _____
 Date _____
 Issued _____

Yours faithfully,
 For UNNATHI ESTATES

 PARTNER

Municipal Corporation of
 the city of Thane.

- 12) Vacant land tax should be paid before C.N.
- 13) Proposed building should be structurally designed considering seismic forces as per B. S. code no. 1893 & 4326 and stability certificate from Structural Engineer should be submitted at the stage of plinth and Occupation Certificate.
- 14) NOC from drainage department for Storm water drain system should be submitted before plinth and the system should be commissioned before O.C.
- 15) Final NOC from Fire Department shall be submitted before O.C.
- 16) Letter boxes should be provided on ground floor before O.C.
- 17) R.W.H. shall be constructed and commissioned before O.C.
- 18) Solar water heating system should be installed and commissioned before O.C.
- 19) Parking Tower shall be installed before O.C.
- 20) Licence, NOC & etc. for Passenger Lift shall be submitted before O.C.
- 21) Revised lease deed of TMC with MHADA for the balance Tit-bit area of 810.87/sq.m after deducting road setback and as per approved drawing shall be submitted before O.C.
- 22) Area affected by DP/Internal road set back shall be developed by Society/Developer before O.C.
- 23) LBT shall be paid from time to time & receipt/NOC of the first installment shall be submitted before plinth.

WARNING - PLEASE NOTE THAT THE DEVELOPMENT IN CONTRAVENTION OF THE APPROVED PLANS AMOUNTS TO COGNISABLE OFFENCE PUNISHABLE UNDER THE MAHARASHTRA REGIONAL AND TOWN PLANNING ACT 1966

संज्ञापन

श्री. अनन्त मवाडानुसार संज्ञापन व कल्पे तसेच
 विकास निर्माण निवनायकीद्वारा आवश्यक सार
 प्रदानना व पोता अधिकायन कार्यालय, महाराष्ट्र
 शासिक इ. नगर मन्त्रालय अधिनियमाचे कलम ५२
 अन्वयेन, महाराष्ट्र मन्त्रालय शासिक इ. नगर मन्त्रालय
 कार्यालय ३ रथे रोड न. नं. ५०००/- इथे होऊ शकतो.

Yours faithfully

Office No. _____
 Office Stamp _____
 Date _____
 Issued _____

[Signature]
 01/11/15

EXECUTIVE ENGINEER
 Town Development Department,
 Municipal Corporation of
 The City of Thane.



For UNNATHI ESTATES

[Signature]
 PARTNER



THANE MUNICIPAL CORPORATION, THANE

(Registration No. 3 & 24)
SANCTION OF DEVELOPMENT

PERMISSION / COMMENCEMENT CERTIFICATE

C.C. granted to 22,290.02 sq.m. built up area consisting of

- TMC Building complete:- Ground floor commercial + 1st to 29th upper floor complete (Residential).
- Tenders Building:- For Wing "A" & "B" Ground floor + 1st to 26th Upper floor + 27th floor (Part).

V. P. No. S04/0068/14 TMC/TDD/1950/16 Date: 14/10/2016
To, Shri / Smt. A.G. Jafar (Architect)
M/S Design Consortium
Shri Thane Municipal Corporation Thane (Owners)

With reference to your application No. 6926 dated 04/8/2016 for development permission / grant of Commencement certificate under section 45 & 69 of the the Maharashtra Regional and Town Planning Act, 1966 to carry out development work and or to erect building No. 54, 55 & 56 in village Majiwade Sector No. IV Situated at Road / Street 24.0m Wide Road S. No. / C.S.T. No. / F.P. No. 183 (Pt), 186 (Pt), 364 (Pt)

The development permission / the commencement certificate is granted subject to the following conditions.

- 1) The land vacated in consequence of the enforcement of the set back line shall form Part of the public street.
- 2) No new building or part thereof shall be occupied or allowed to be occupied or permitted to be used by any person until occupancy permission has been granted.
- 3) The development permission / Commencement Certificate shall remain valid for a period of one year commencing from the date of its issue.
- 4) This permission does not entitle you to develop the land which does not vest in you.
- 5) All the conditions mentioned in Permission C.C. no 1329/15 dated 14/7/2015 are binding upon the Owner/Developer.
- 6) C.C. for 1247.15 Sq.m. built up area shall be released after approval from U.D. Dept.
- 7) All the conditions mentioned in the Environmental Clearance of this project are binding upon Tenderer.
- 8) Consent to establish STP before Plinth and Consent to operate STP before O.C. shall be submitted.
- 9) STP shall be provided as per proposed modification.
- 10) Organic waste disposal shall be done within complex.
- 11) C.C.T.V. surveillance camera shall be installed and commissioned at strategic locations before O.C.
- 12) Before C.N. Temporary Creche and hygienic toilets for labour shall be constructed on site and shall maintain it till the final O.C.
- 13) जिना अधिमूर्त्याची र. २००१/- प्रति. बी.पी. झे रकम मा. महसुलेच्या ठरावच्या मान्यतेच्या अधिन राहून स्विकारण्यात आली असून, भविष्यात त्यातील फरकाची रकम भरणे विकसक / सोसायटी यंत्रणेक बंधनकारक राहिले.

WARNING : PLEASE NOTE THAT THE DEVELOPMENT IN CONTRAVENTION OF THE APPROVED PLANS AMOUNTS TO COGNASIBLE OFFENCE PUNISHABLE UNDER THE MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966

सावधान

Office No. संभागाध्यक्ष या कार्यालय महाराष्ट्र
Office Stamp महाराष्ट्र राज्य सरकार
Date १४/१०/२०१६
Issued १४/१०/२०१६



Yours faithfully,

For UNNATHI ESTATES

SM
PARTNER

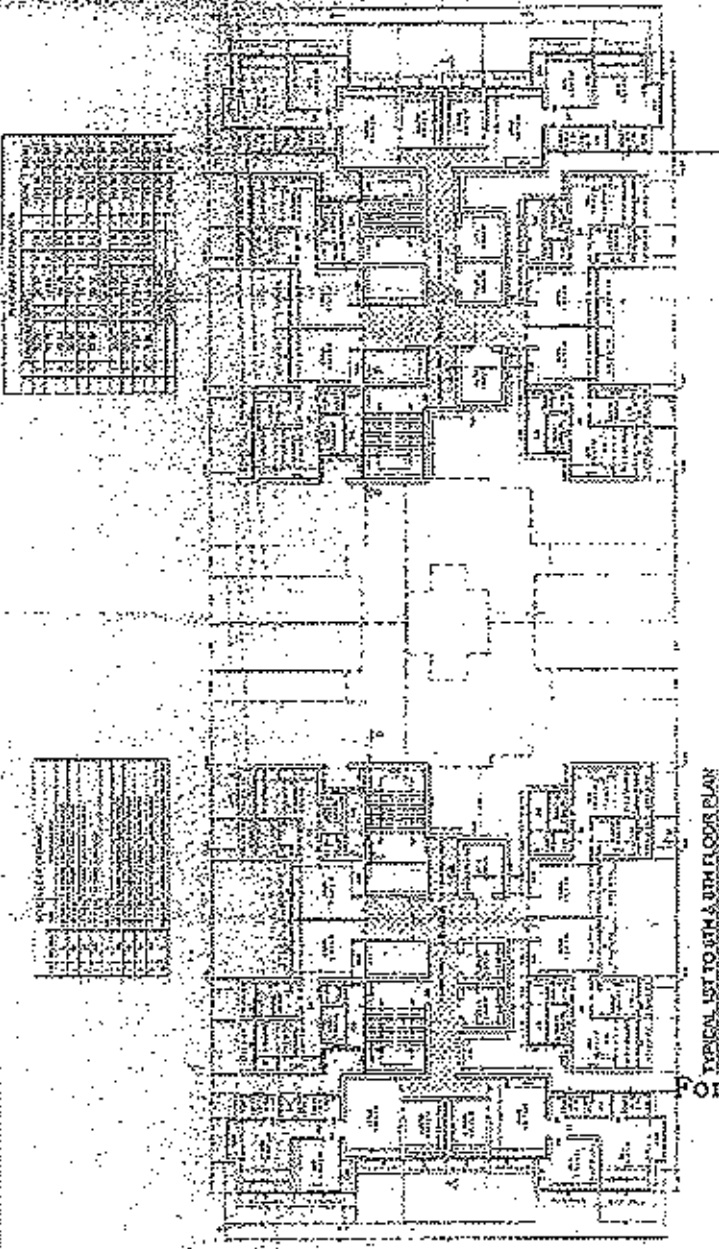
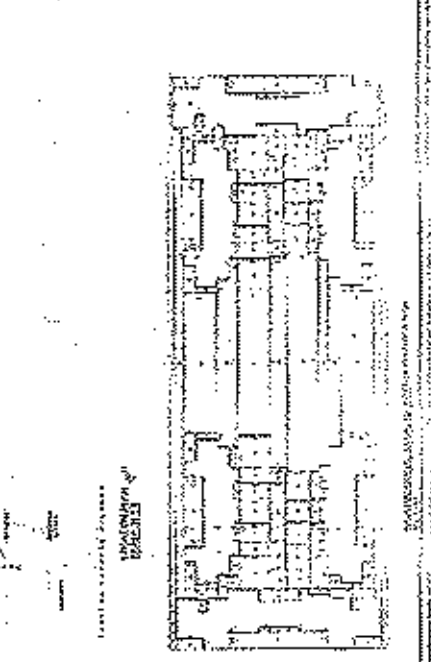
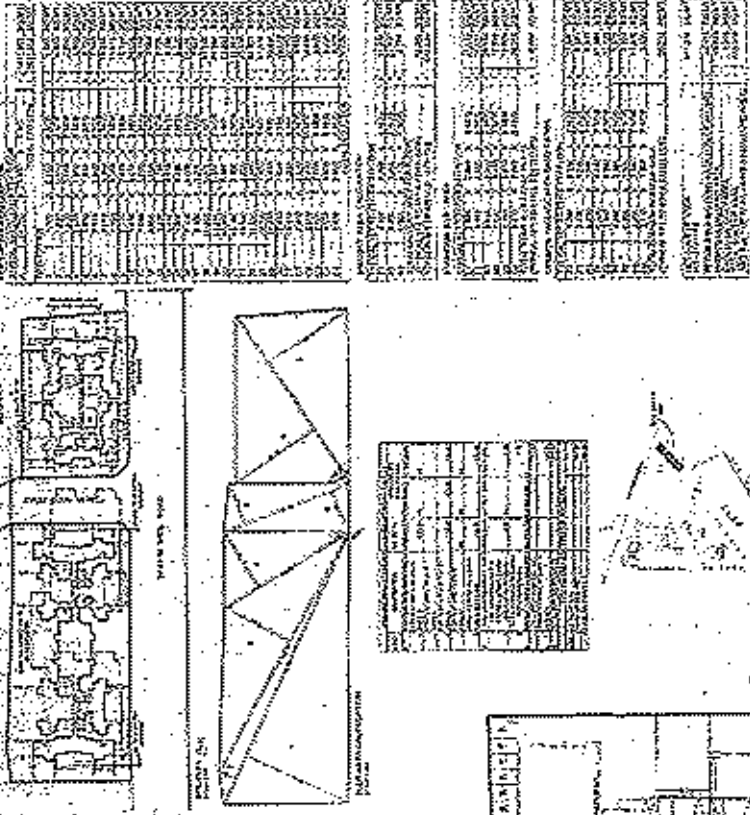
EXECUTIVE ENGINEER
Town Development Department
Municipal Corporation of
the city of, Thane.

NO.	REVISION	DATE

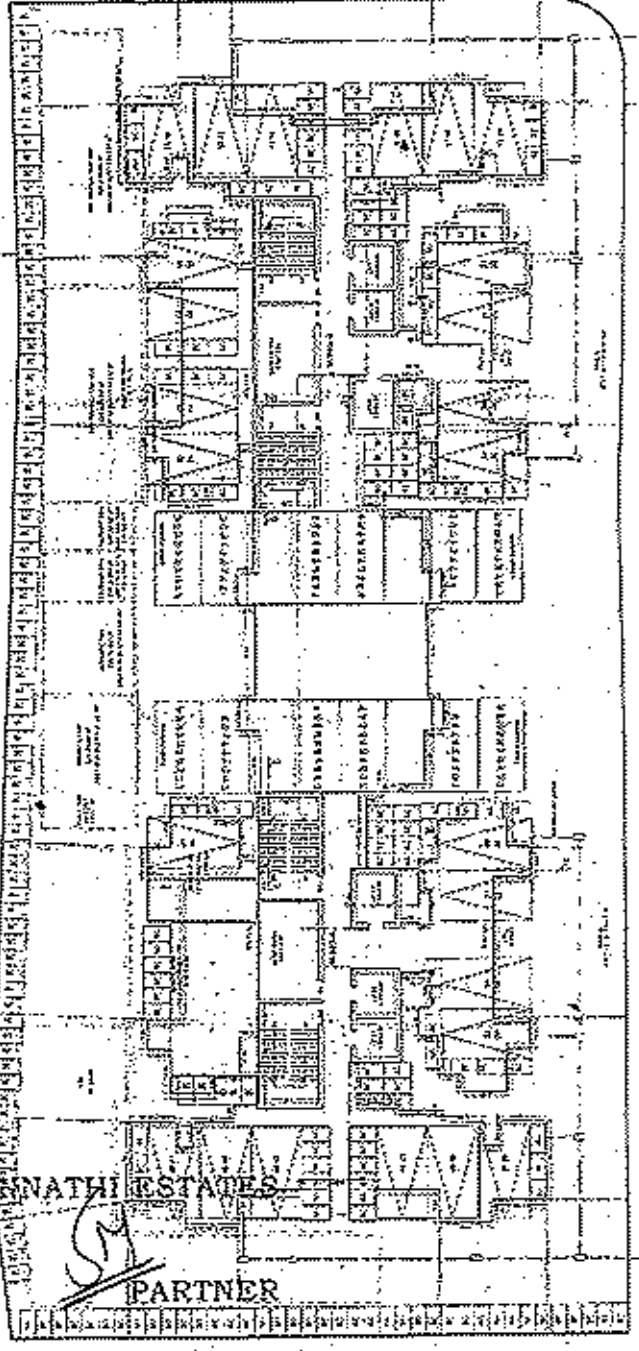
PROJECT NAME	PROJECT NO.
UNNATHI ESTATES	

CLIENT NAME	CLIENT ADDRESS
UNNATHI ESTATES	

ARCHITECT NAME	ARCHITECT ADDRESS
HINDUSTAN CIVIL ENGINEERING CORPORATION	117, D. C. ROAD, P. O. BOX 44, KALKAJI, NEW DELHI 110019



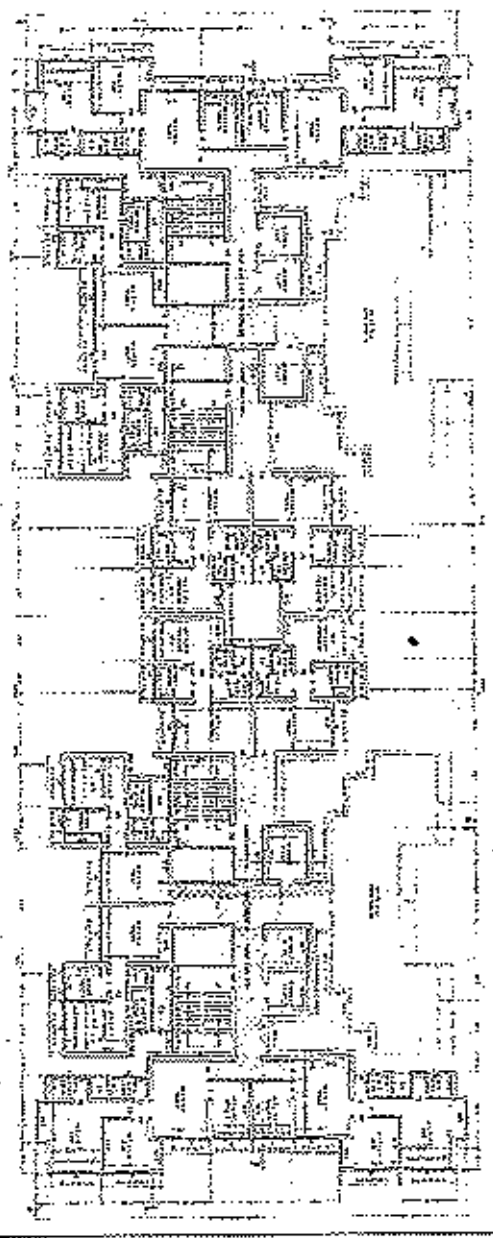
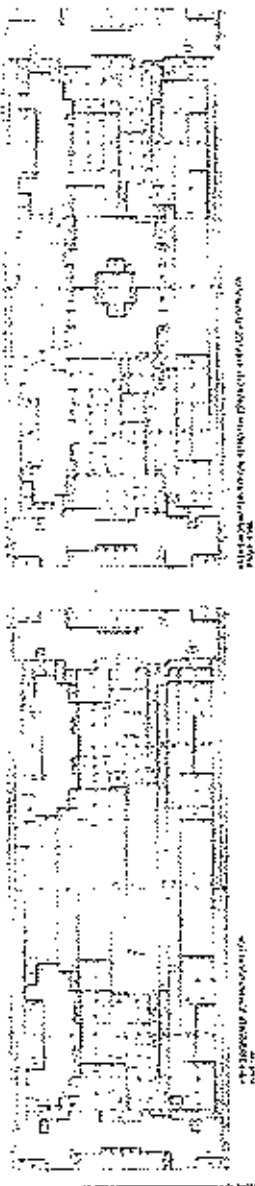
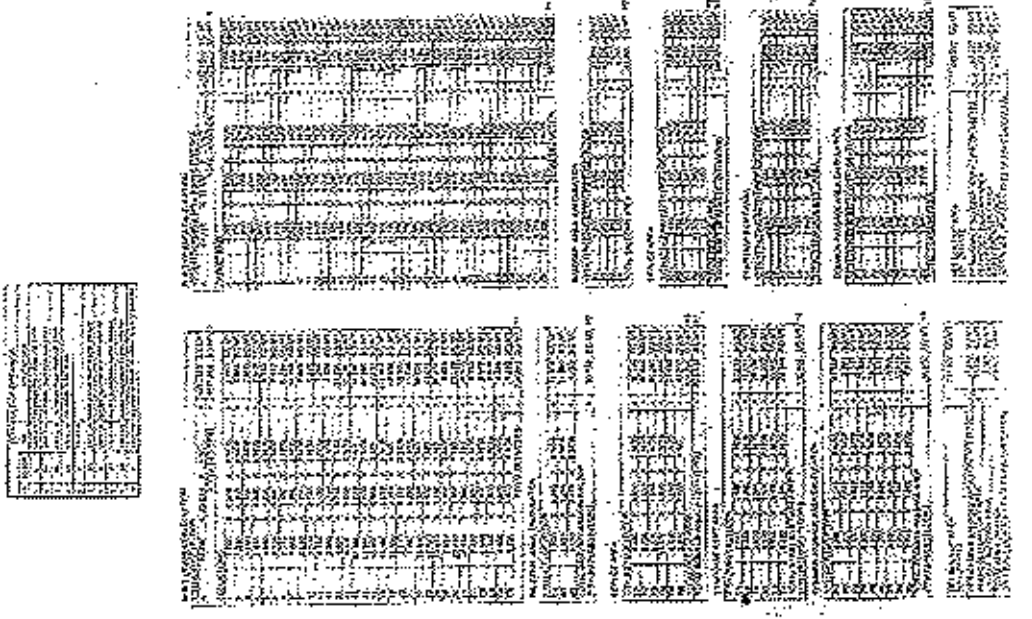
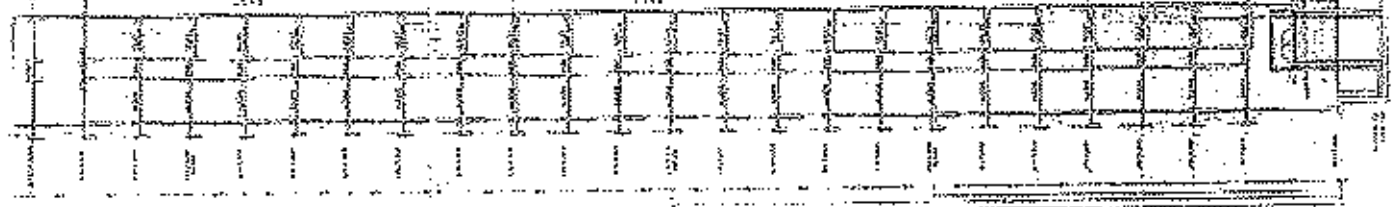
TYPICAL UNIT FLOOR PLAN



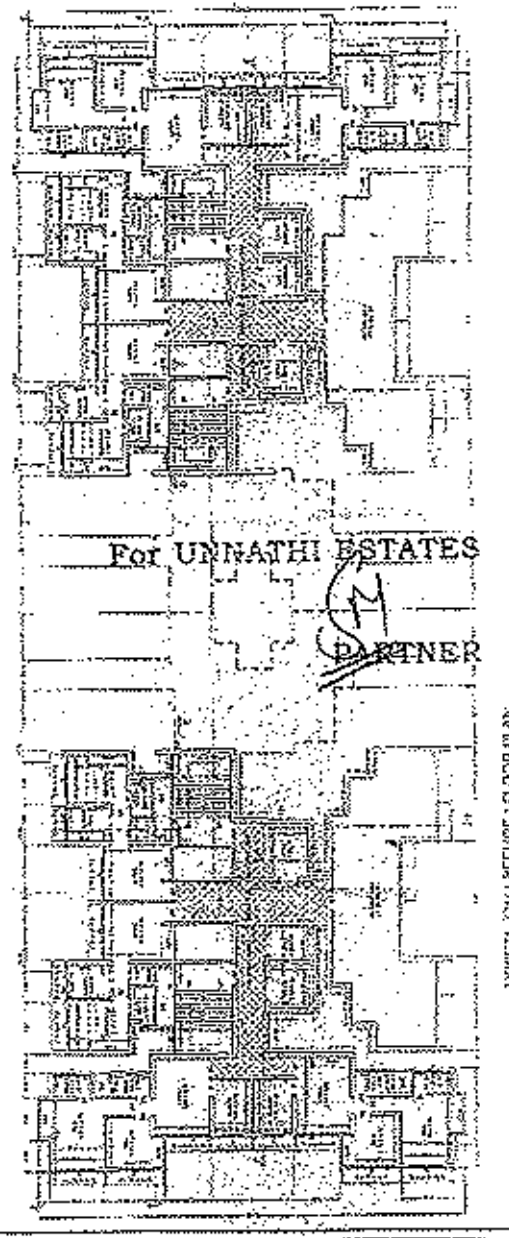
GROUND FLOOR PLAN

UNNATHI ESTATES
 PARTNER
 SCALE: 1:500

1. INTRODUCTION
 2. GENERAL INFORMATION
 3. SITE PLAN
 4. FLOOR PLANS
 5. SECTIONAL DRAWINGS
 6. ELECTRICAL AND MECHANICAL
 7. SANITARY AND WATER SUPPLY
 8. FINISHES
 9. SCHEDULES
 10. NOTES



TYPICAL 12TH & 2000' & 2100' FLOOR PLANS
 SCALE: 1/8" = 1'-0"



FOR UNNATHI ESTATES

PARTNER

TYPICAL 7TH, 8TH & 9TH FLOOR PLANS
 SCALE: 1/8" = 1'-0"

CONTRACTOR
 ...

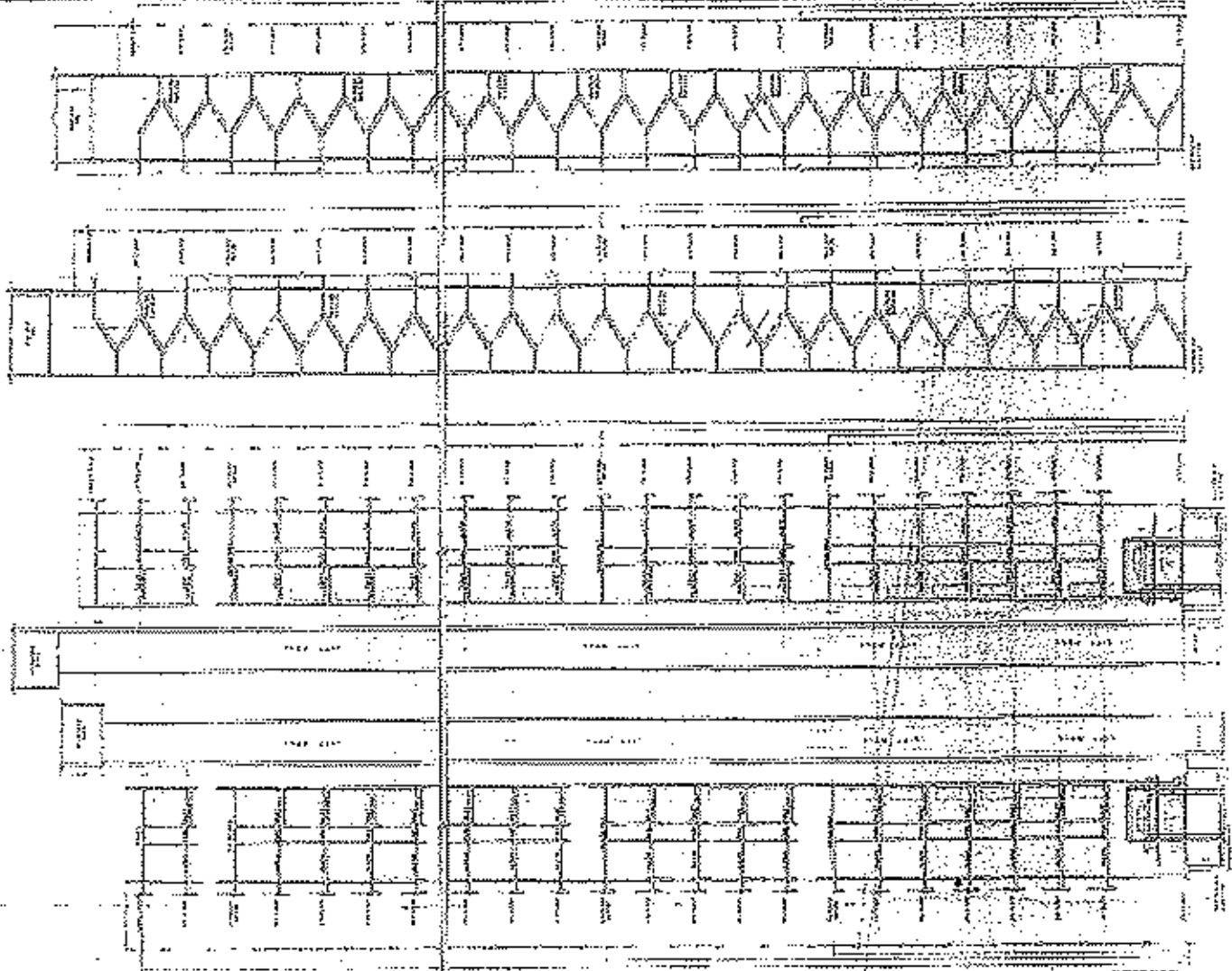
GENERAL CONTRACTOR
 ...
 ...

PLANNING
ARCHITECTS
1000 P STREET, N.W.
WASHINGTON, D.C. 20004
TEL: 202-331-1100
FAX: 202-331-1101
WWW: WWW.PLANARCH.COM



UNNATHI ESTATES
PHASE I
RESIDENTIAL BUILDING
FLOOR PLAN

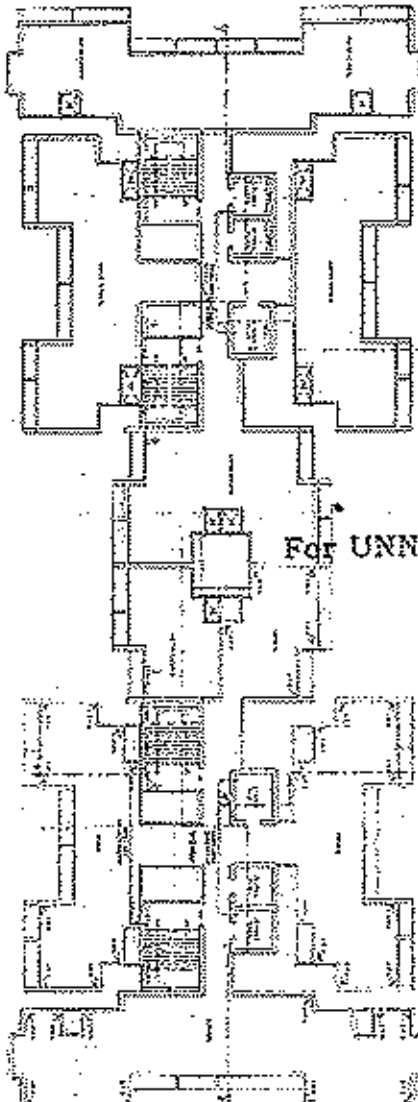
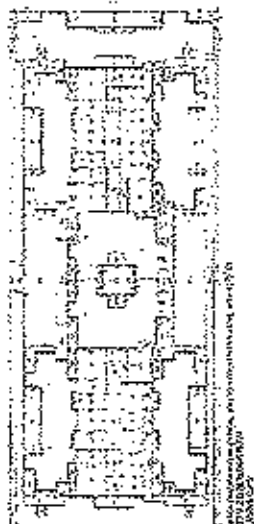
UNNATHI ESTATES
PHASE I
RESIDENTIAL BUILDING
FLOOR PLAN



NO.	DESCRIPTION	UNIT	QTY	TOTAL
1	CONCRETE COLUMN	12" DIA.	12	12
2	CONCRETE BEAM	12" X 18"	12	12
3	CONCRETE SLAB	6" THICK	12	12
4	CONCRETE WALL	12" THICK	12	12
5	CONCRETE FLOOR	6" THICK	12	12
6	CONCRETE ROOF	6" THICK	12	12
7	CONCRETE STAIR	12" X 12"	12	12
8	CONCRETE ELEVATOR	12" X 12"	12	12
9	CONCRETE CORE	12" X 12"	12	12
10	CONCRETE RAMP	12" X 12"	12	12

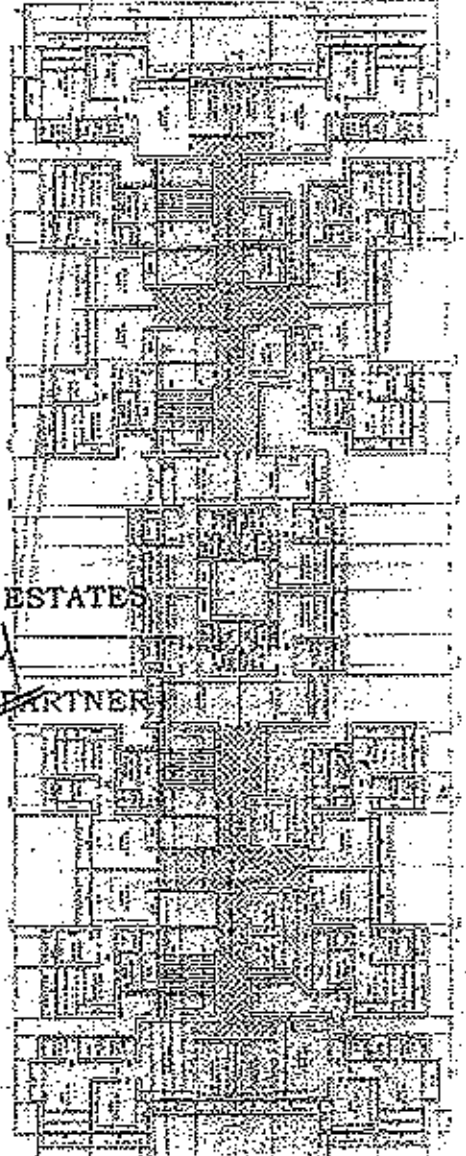
NO.	DESCRIPTION	UNIT	QTY	TOTAL
11	CONCRETE WALL	12" THICK	12	12
12	CONCRETE FLOOR	6" THICK	12	12
13	CONCRETE ROOF	6" THICK	12	12
14	CONCRETE STAIR	12" X 12"	12	12
15	CONCRETE ELEVATOR	12" X 12"	12	12
16	CONCRETE CORE	12" X 12"	12	12
17	CONCRETE RAMP	12" X 12"	12	12

NO.	DESCRIPTION	UNIT	QTY	TOTAL
18	CONCRETE WALL	12" THICK	12	12
19	CONCRETE FLOOR	6" THICK	12	12
20	CONCRETE ROOF	6" THICK	12	12
21	CONCRETE STAIR	12" X 12"	12	12
22	CONCRETE ELEVATOR	12" X 12"	12	12
23	CONCRETE CORE	12" X 12"	12	12
24	CONCRETE RAMP	12" X 12"	12	12



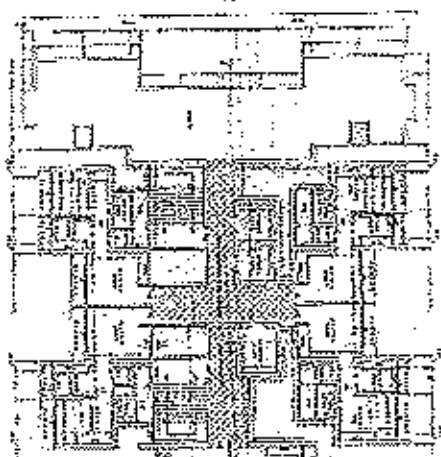
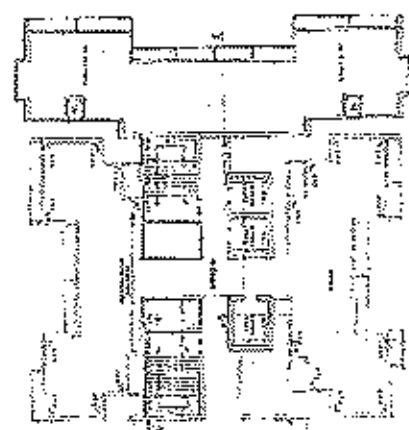
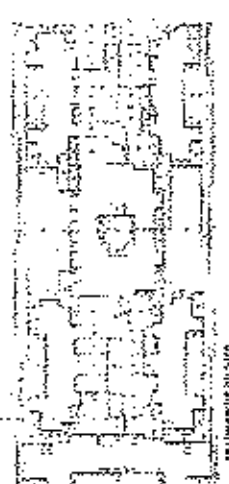
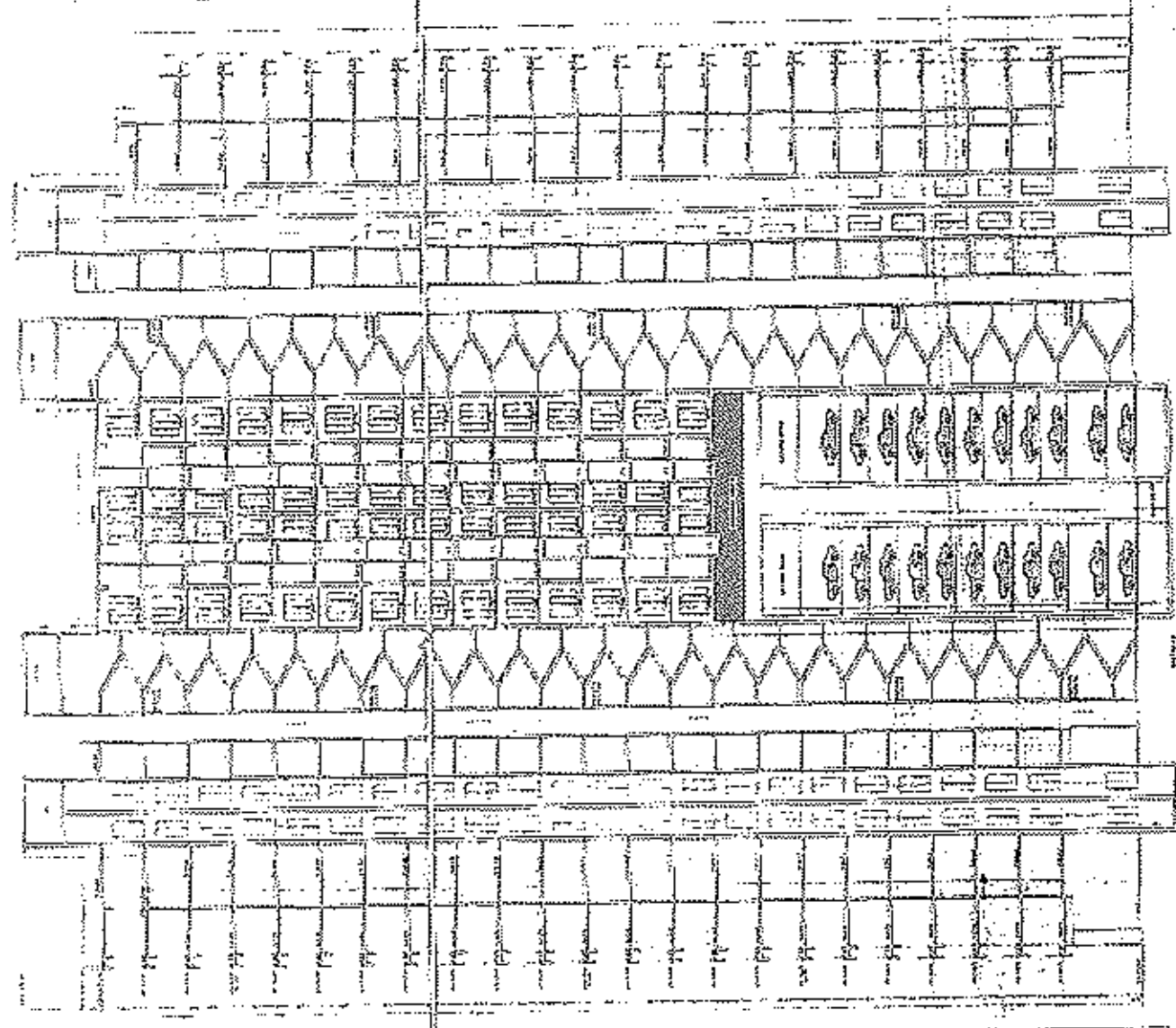
FOR UNNATHI ESTATES
Sy
PARTNER

TERRACE FLOOR PLAN
SCALE: 1/8" = 1'-0"



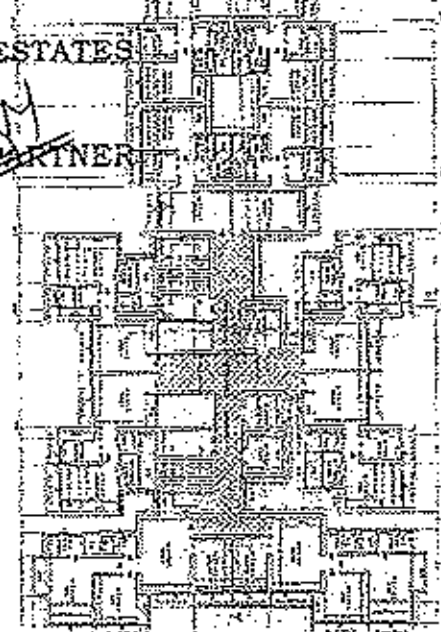
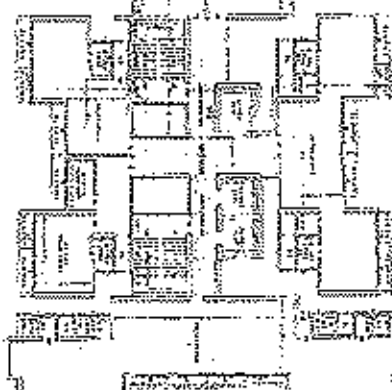
UNNATHI ESTATES
PHASE I
RESIDENTIAL BUILDING
FLOOR PLAN
SCALE: 1/8" = 1'-0"

1. The plan is to be read in conjunction with the specifications and the contract conditions.
 2. The contractor shall be responsible for the accuracy of the dimensions and the location of the buildings.
 3. The contractor shall be responsible for the construction of the buildings in accordance with the plan and the specifications.
 4. The contractor shall be responsible for the completion of the buildings within the stipulated time.
 5. The contractor shall be responsible for the maintenance of the buildings.
 6. The contractor shall be responsible for the safety of the buildings.
 7. The contractor shall be responsible for the security of the buildings.
 8. The contractor shall be responsible for the cleanliness of the buildings.
 9. The contractor shall be responsible for the ventilation of the buildings.
 10. The contractor shall be responsible for the lighting of the buildings.
 11. The contractor shall be responsible for the heating of the buildings.
 12. The contractor shall be responsible for the cooling of the buildings.
 13. The contractor shall be responsible for the water supply of the buildings.
 14. The contractor shall be responsible for the drainage of the buildings.
 15. The contractor shall be responsible for the electricity supply of the buildings.
 16. The contractor shall be responsible for the gas supply of the buildings.
 17. The contractor shall be responsible for the telephone supply of the buildings.
 18. The contractor shall be responsible for the television supply of the buildings.
 19. The contractor shall be responsible for the internet supply of the buildings.
 20. The contractor shall be responsible for the other services of the buildings.



FOR UNNATHI ESTATES

Signature
D. KINER



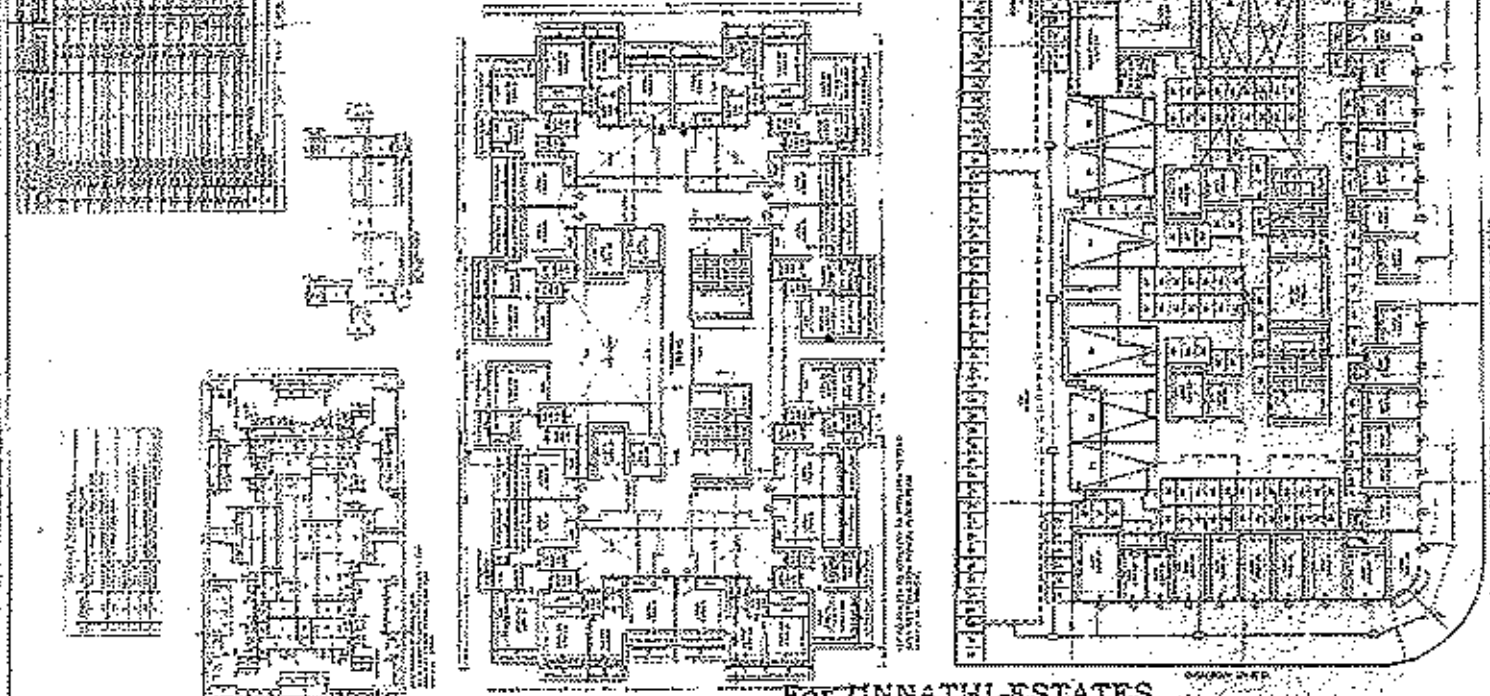
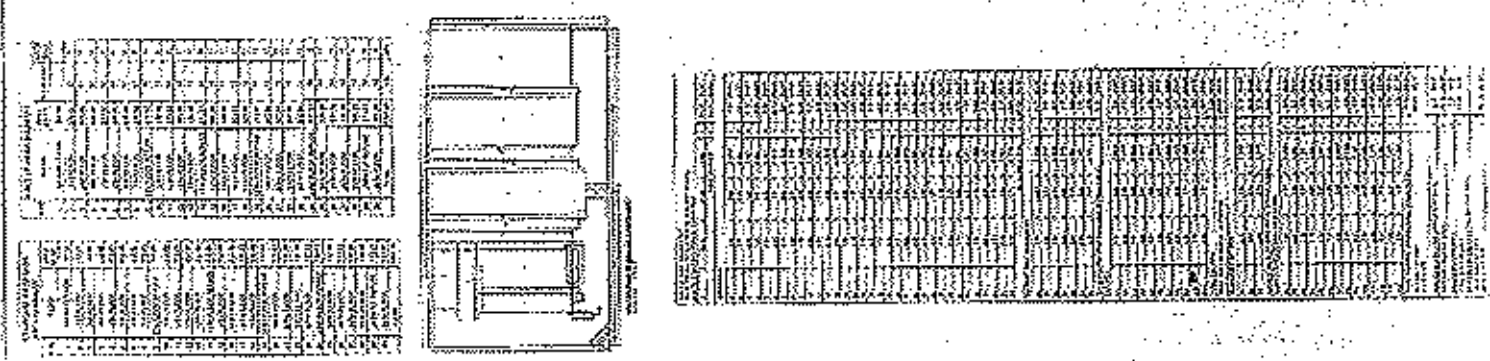
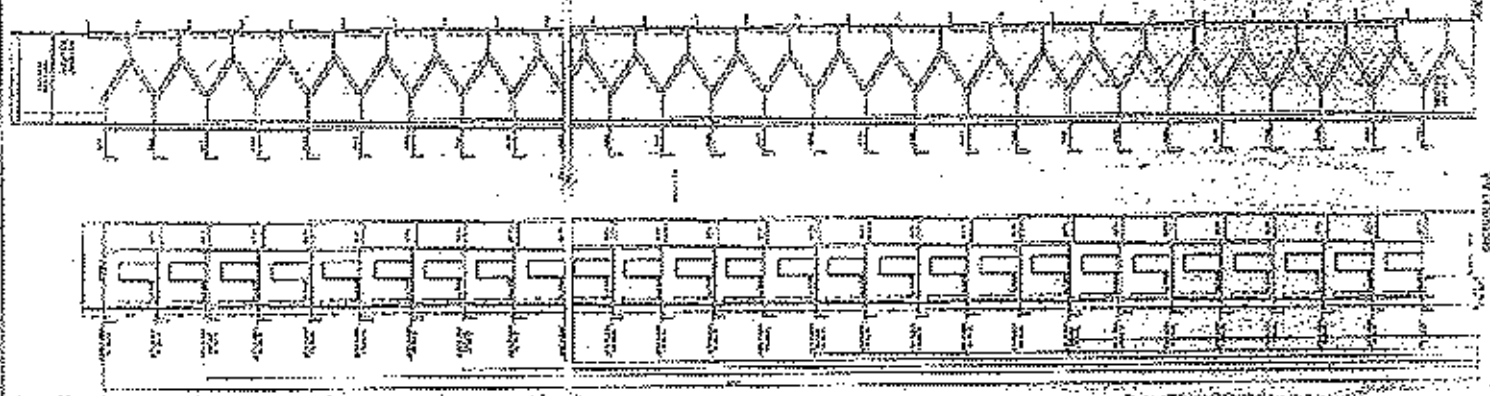
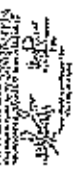

REVISION PLAN
1/2/2010

2010 ESTATE PLAN
2/2/2010

STATE OF CALIFORNIA
COUNTY OF SAN FRANCISCO
OFFICE OF THE SUPERVISOR

APPROVED AND ORDERED:
SUPERVISOR
DATE: _____

FILED
COUNTY CLERK
SAN FRANCISCO, CALIFORNIA



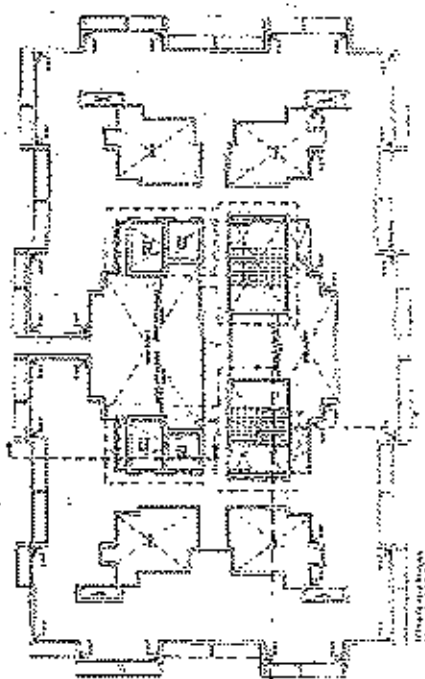
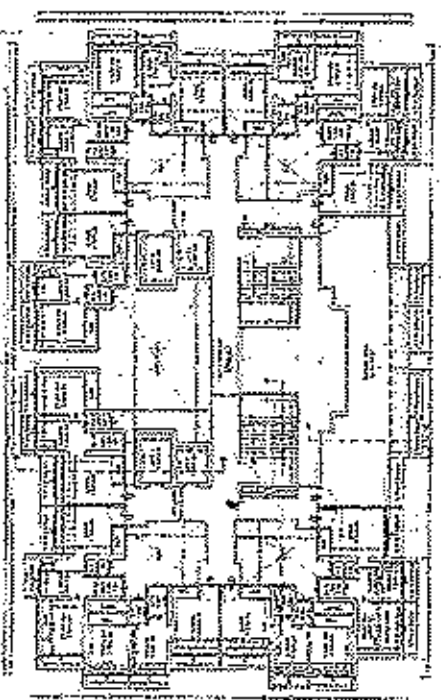
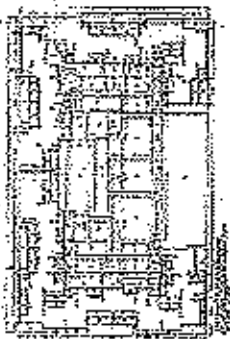
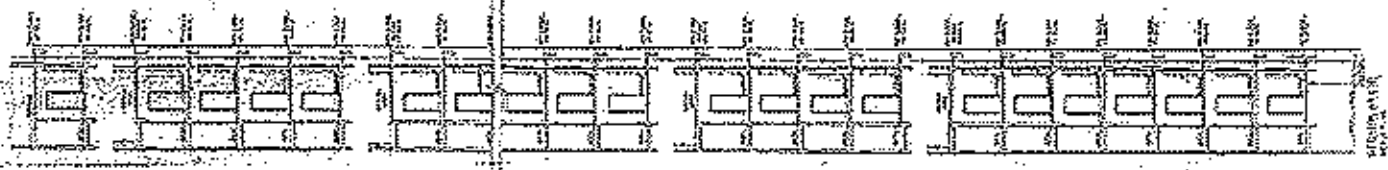
FOR UNNATHI ESTATES

SM
PARTNER

1. The above plan is prepared in accordance with the provisions of the Survey Act, 1907 and the Survey Rules, 1908.
 2. The area of the land shown in the plan is as per the measurement of the Survey Officer.
 3. The plan is subject to the provisions of the Survey Act, 1907 and the Survey Rules, 1908.
 4. The plan is subject to the provisions of the Survey Act, 1907 and the Survey Rules, 1908.
 5. The plan is subject to the provisions of the Survey Act, 1907 and the Survey Rules, 1908.



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For UNNATHI ESTATES

PARTNER